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**ELEVATE BUILDERS, LLC**  
P.O. BOX 114  
FOREST LAKE, MN 55025

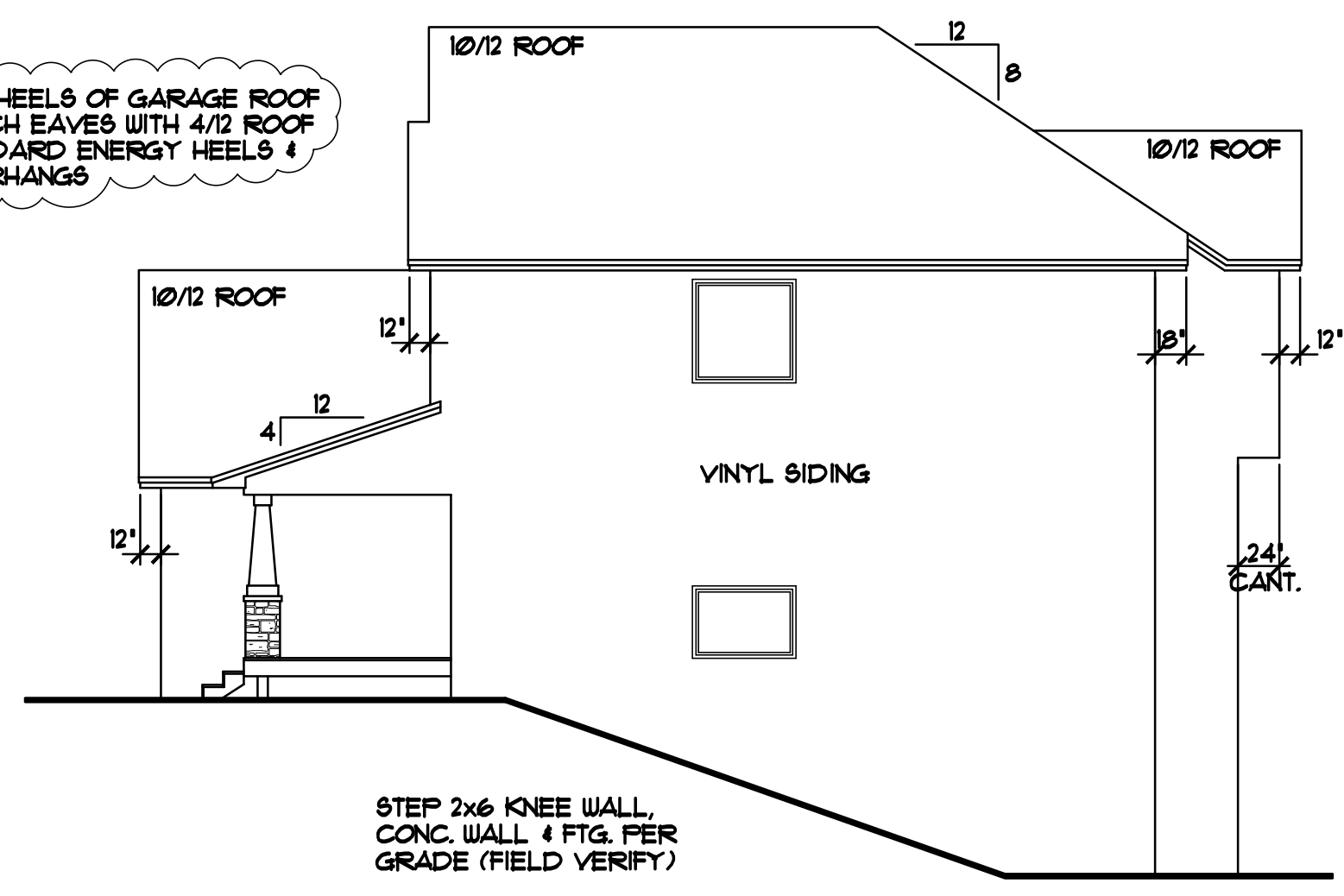


DRAWN R.B.
CHECKED XX
DATE: 12/10/2018
SCALE: AS NOTED
CADD FILE # 18354

NOTE III PROVIDE STANDARD ENERGY HEEL @ ALL 8/12 ROOF TRUSSES w/ 18" OVERHANGS. ADJUST HEEL HEIGHT OF ALL 10/12 ROOF TRUSSES w/ 18" OVERHANGS TO MATCH EAVES w/ 8/12 ROOFS (TYP.)

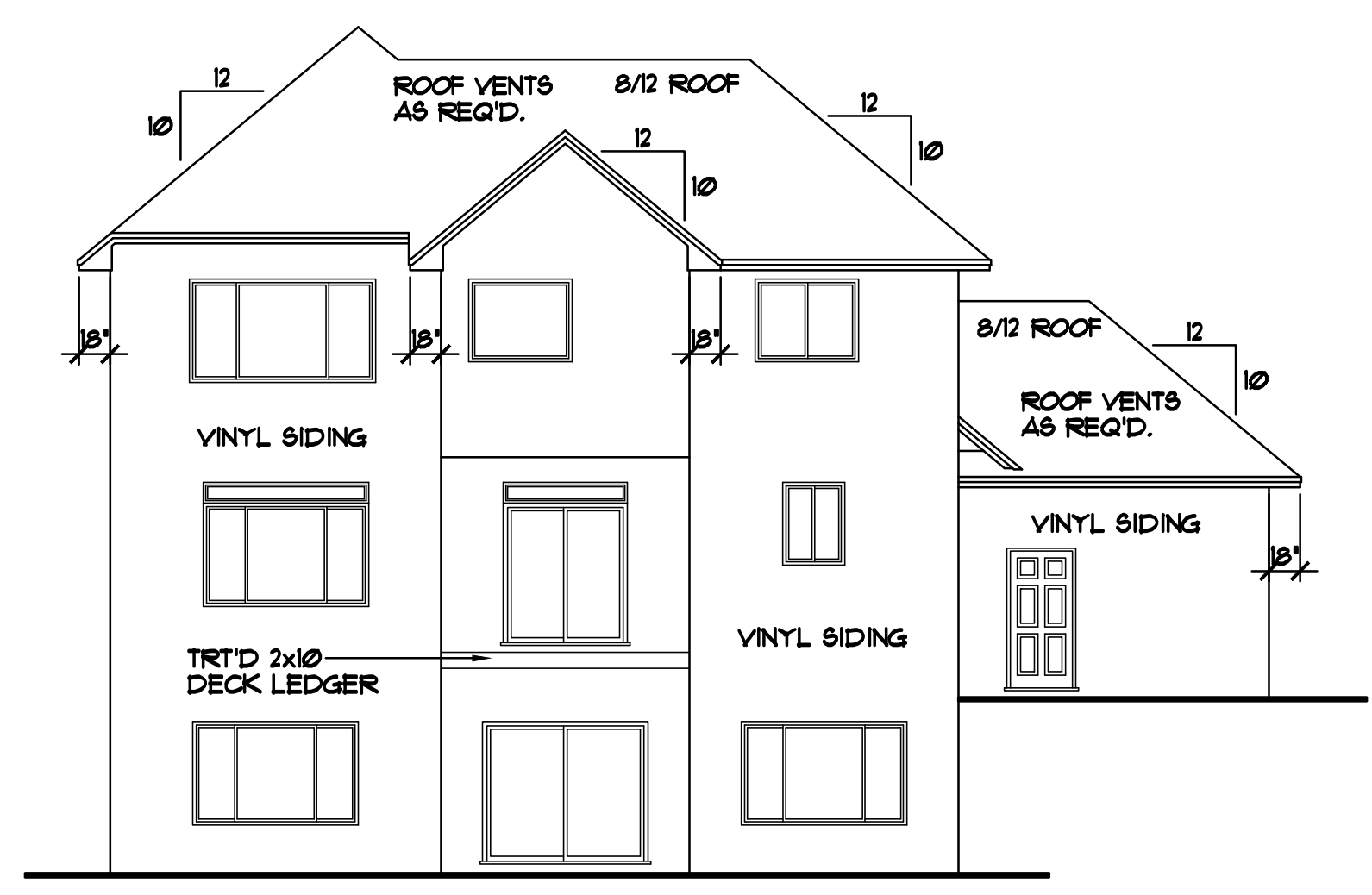
NOTE III ADJUST HEELS OF GARAGE ROOF TO MATCH EAVES WITH 4/12 ROOF w/ STANDARD ENERGY HEELS @ 18" OVERHANGS

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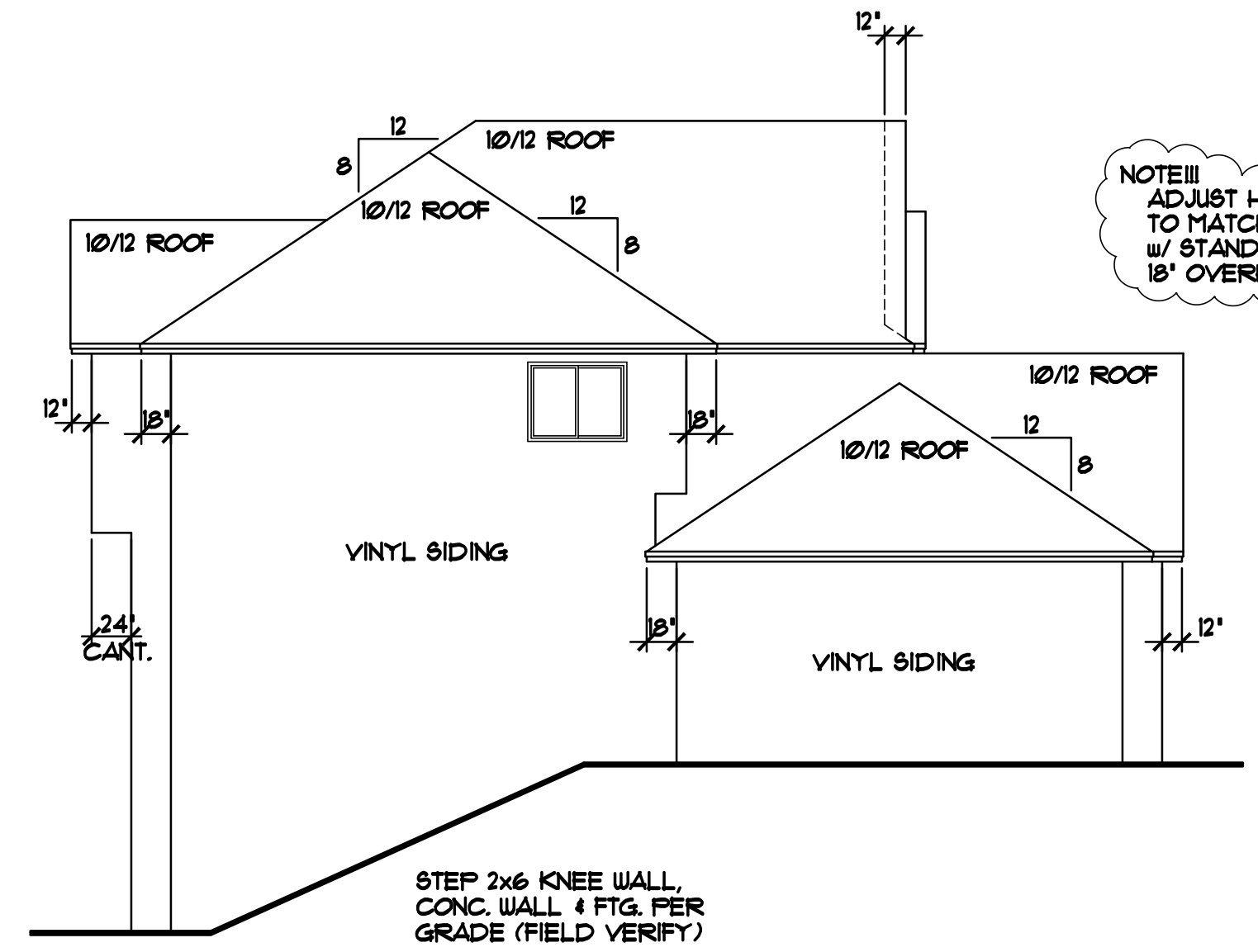


STEP 2x6 KNEE WALL, CONC. WALL & FTG. PER GRADE (FIELD VERIFY)

**RIGHT ELEVATION** 1/8"=1'-0"



**REAR ELEVATION** 1/8"=1'-0"



STEP 2x6 KNEE WALL, CONC. WALL & FTG. PER GRADE (FIELD VERIFY)

**LEFT ELEVATION** 1/8"=1'-0"

SILVERLINE

WINDOW and DOOR PERFORMANCE DATA  
U-VALUE / SHGC / STC

- SINGLE HUNG UNIT  
U-VALUE = 0.29  
SHGC = 0.30  
STC = 30
- SLIDER UNIT  
U-VALUE = 0.29  
SHGC = 0.30  
STC = 30
- FIXED UNIT  
U-VALUE = 0.27  
SHGC = 0.31  
STC = 21
- CASEMENT UNIT  
U-VALUE = 0.27  
SHGC = 0.24  
STC = 28
- AWNING UNIT  
U-VALUE = 0.27  
SHGC = 0.24  
STC = 28
- SLIDING PATIO DOOR  
U-VALUE = 0.29  
SHGC = 0.30  
STC = 21

NOTE III PROVIDE STANDARD ENERGY HEEL @ ALL 8/12 ROOF TRUSSES w/ 18" OVERHANGS. ADJUST HEEL HEIGHT OF ALL 10/12 ROOF TRUSSES w/ 18" OVERHANGS TO MATCH EAVES w/ 8/12 ROOFS (TYP.)

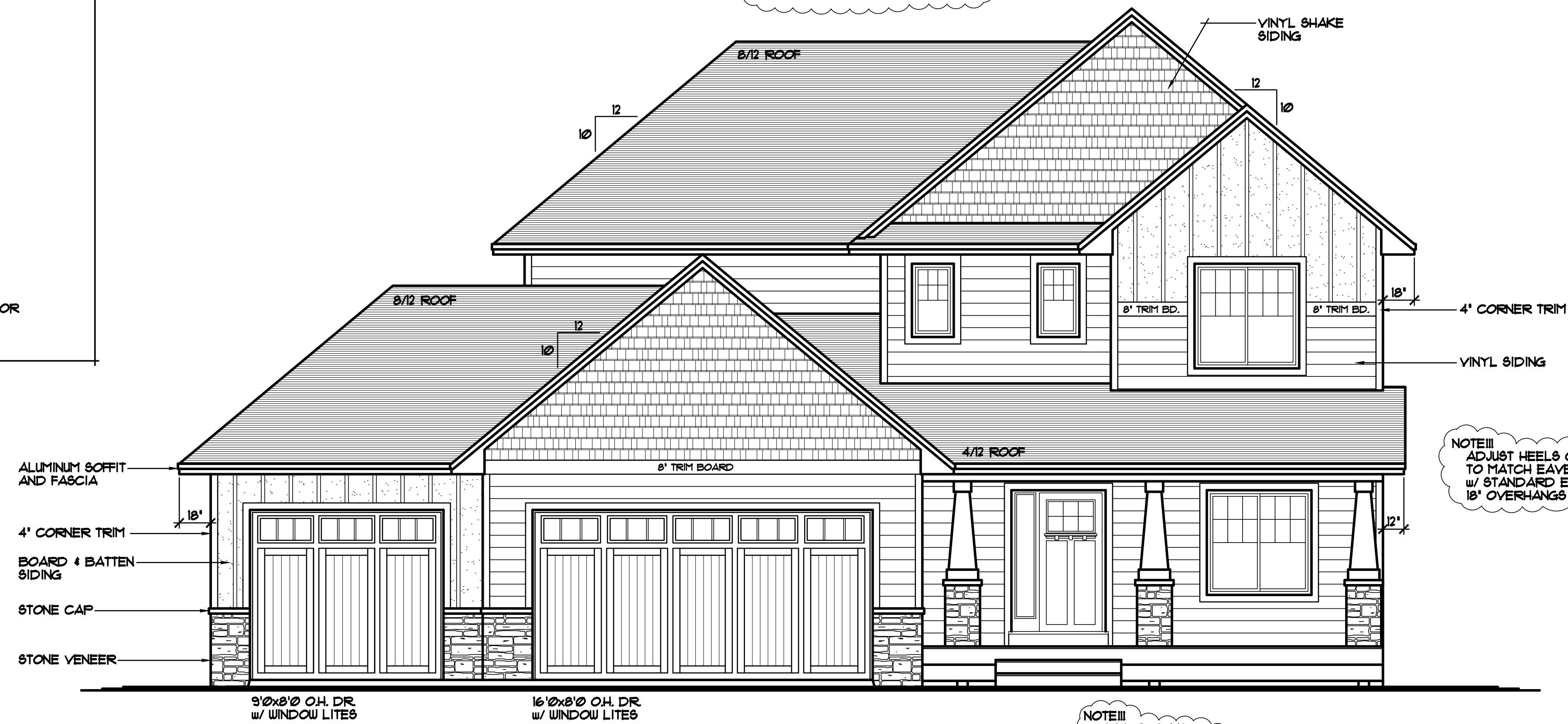
HOUSE INTERIOR VOLUME CALCULATION

10150 CUBIC FEET (UPPER LEVEL VOLUME)
2090 CUBIC FEET (UPPER LEVEL FLOOR TRUSS SPACE VOLUME)
10268 CUBIC FEET (MAIN LEVEL VOLUME)
2008 CUBIC FEET (MAIN LEVEL FLOOR TRUSS SPACE VOLUME)
10932 CUBIC FEET (BASEMENT VOLUME)
36138 CUBIC FEET (TOTAL INTERIOR VOLUME)

LEVEL HEIGHT INFORMATION TABLE

LEVEL	R.C.H.	TOP OF WINDOW R.O.
BASEMENT	8'-10"	6'-10 1/2"
MAIN LEVEL	9'-1 1/8"	7'-10 1/2"
UPPER LEVEL	8'-1 1/8"	6'-10 1/2"

- SILVERLINE WINDOWS SPEC'D.
- ALUMINUM SOFFITS & FASCIA
- STONE VENEER WHERE SHOWN
- VINYL SIDING/CORNER TRIM (TYP.)
- VINYL SHAKE SIDING WHERE SHOWN
- BOARD & BATTEN SIDING WHERE SHOWN
- 4" WINDOW/DOOR TRIM (TYP.)



- ALUMINUM SOFFIT AND FASCIA
- 4' CORNER TRIM
- BOARD & BATTEN SIDING
- STONE CAP
- STONE VENEER

NOTE III ADJUST HEELS OF GARAGE ROOF TO MATCH EAVES WITH 4/12 ROOF w/ STANDARD ENERGY HEELS @ 18" OVERHANGS

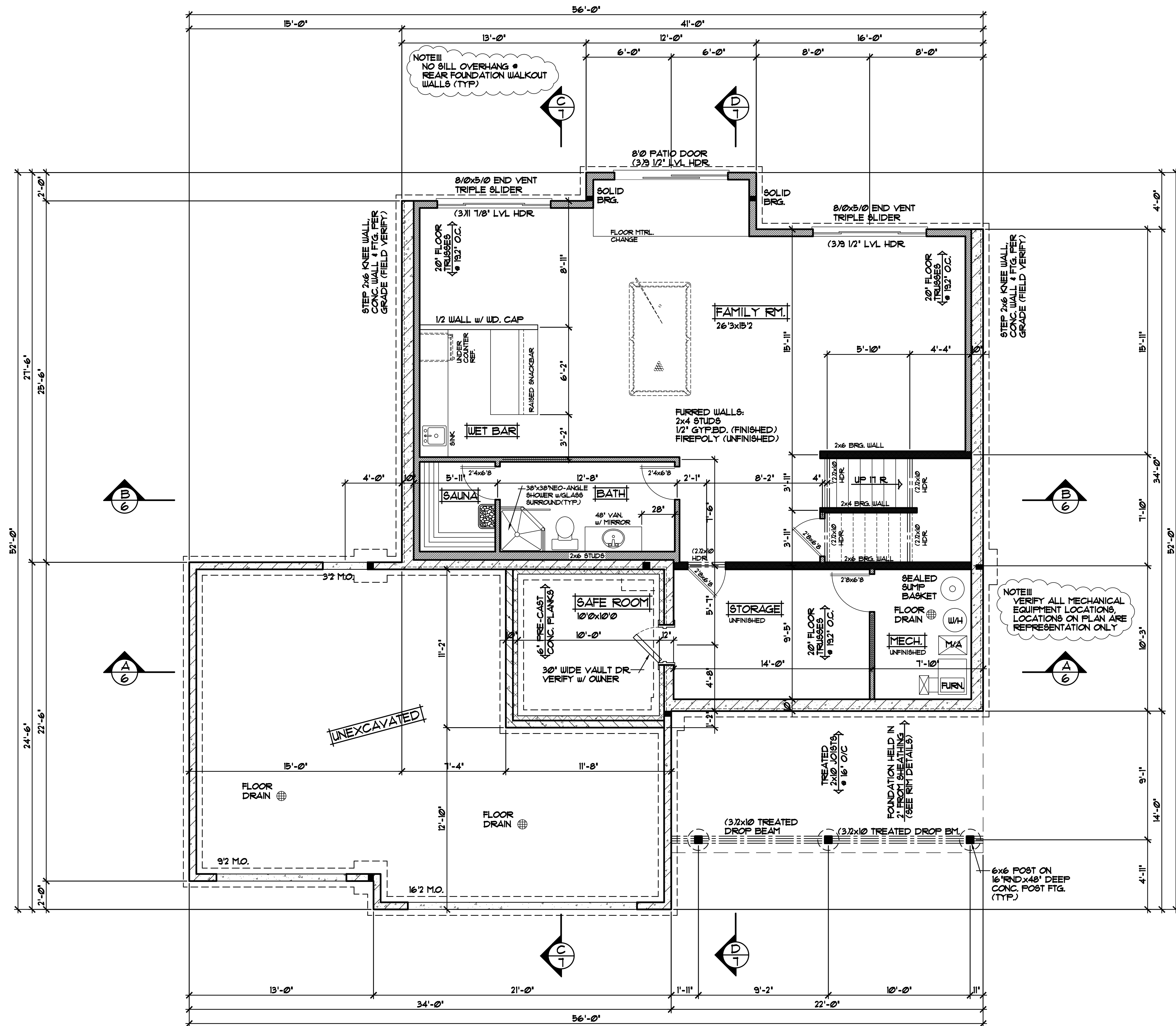
**FRONT ELEVATION** 1/4"=1'-0"

1283 SQFT. MAIN LEVEL  
1398 SQFT. UPPER LEVEL  
2618 SQFT. ABOVE GRADE

926 SQFT. FINISHED BASEMENT  
3544 SQFT. TOTAL FINISHED AREA

NOTE III 8'-1 1/8" PLATE HEIGHT AT GARAGE & FRONT PORCH AREA FROM FIRST FLOOR SUB FLOOR





**STRUCTURAL ENGINEERING NOTES**

- VERIFY FOUNDATION FOOTINGS AND WALLS w/ STRUCTURAL ENGINEER
- VERIFY PRECAST DESIGN w/ MANUFACTURER AND/OR LICENSED STRUCTURAL ENGINEER
- VERIFY HEADERS FOR ALL OPENINGS IN FOUNDATION WALLS WITH STRUCTURAL ENGINEER

**FRAMING & CONSTRUCTION NOTES**

- 8'-10" PLATE HEIGHT • ENTIRE LOWER LEVEL (UNLESS NOTED OTHERWISE)
- PROVIDE 1/2" GYP. BD. • BASEMENT CEILING & ALLOW 80 SQFT. (MAX) OPEN CLG. AREA FOR MECHANICAL, FIRE BLOCK TRUSS SPACE • PERIMETER OF OPEN AREA

**FOUNDATION CONST. NOTES**

- POURED CONCRETE FOUNDATION, VERIFY ALL WALL DIMENSIONS w/ FOUNDATION CONTRACTOR
- ALL EXTERIOR FOUNDATION DIMENSIONS ARE TO OUTSIDE OF EXTERIOR FOAM BOARD INSUL. OR SHEATHING, FOUNDATION TO BE HELD IN WHERE NOTED/SHOWN
- PROVIDE 2" R10 FOAM BOARD INSULATION • EXTERIOR FOUNDATION WALLS & 1" R5 FOAM BOARD INSULATION AT INTERIOR SIDE OF FOUNDATION WALLS (TYP)
- INSULATION & AIR BARRIER TO BE CONT. OVER TOP OF FOUNDATION WALLS (TYP)
- PROVIDE (2/4) BAR AT ALL CONC. FOOTINGS (TYP.)
- PROVIDE (1/6) VERTICAL BAR AT 23" ON CENTER AT ALL 100' HIGH POURED FOUNDATION WALLS (VERIFY SPACING w/ CONCRETE CONTRACTOR)

**DOOR & WINDOW NOTES**

- SILVERLINE WINDOWS SPECIFIED, VERIFY ROUGH OPENING SIZES FOR DOORS & WINDOWS w/ MANUFACTURER
- WINDOWS with "S" REQUIRE A SASH STOPPER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2)X(10) 2" GRADE HEADER OR BETTER (UNLESS NOTED OTHERWISE)
- TOP OF R.O. FOR ALL WINDOWS ON LOWER LEVEL TO BE 6'-10 1/2" FROM FLOOR (UNLESS NOTED OTHERWISE)

**REVISIONS**

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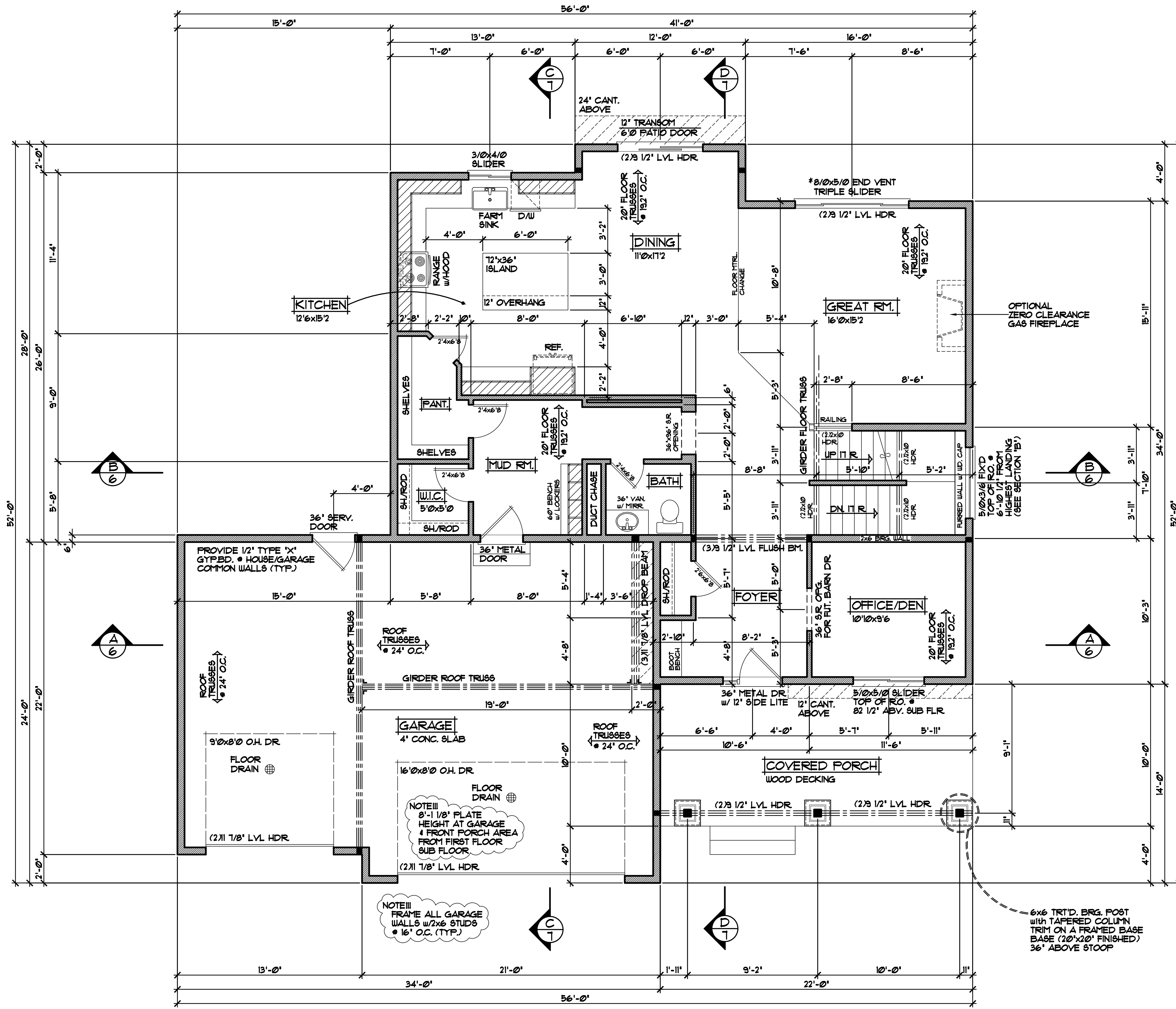
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SHEET **3** OF 8  
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**MAIN LEVEL PLAN** 1/4"=1'-0"  
1283 SQFT. MAIN LEVEL

**FRAMING NOTES**

- 3'-1 1/8" PLATE HEIGHT • ENTIRE MAIN LEVEL (UNLESS NOTED OTHERWISE)
- 8'-1 1/8" PLATE HEIGHT • GARAGE • FRONT PORCH FROM MAIN LEVEL FLOOR
- FRAME ALL GARAGE STUDS w/ 2x6 STUDS • 16" O.C. (TYP.)

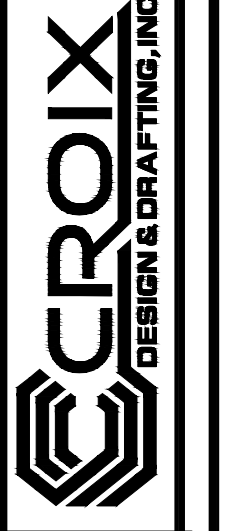
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- WINDOWS with "S" REQUIRE A SASH STOPPER (TYP.)
- ALL WINDOW & DOOR OPENINGS TO HAVE (2x10) 2" GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF R.O. FOR ALL WINDOWS ON MAIN LEVEL TO BE 1'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

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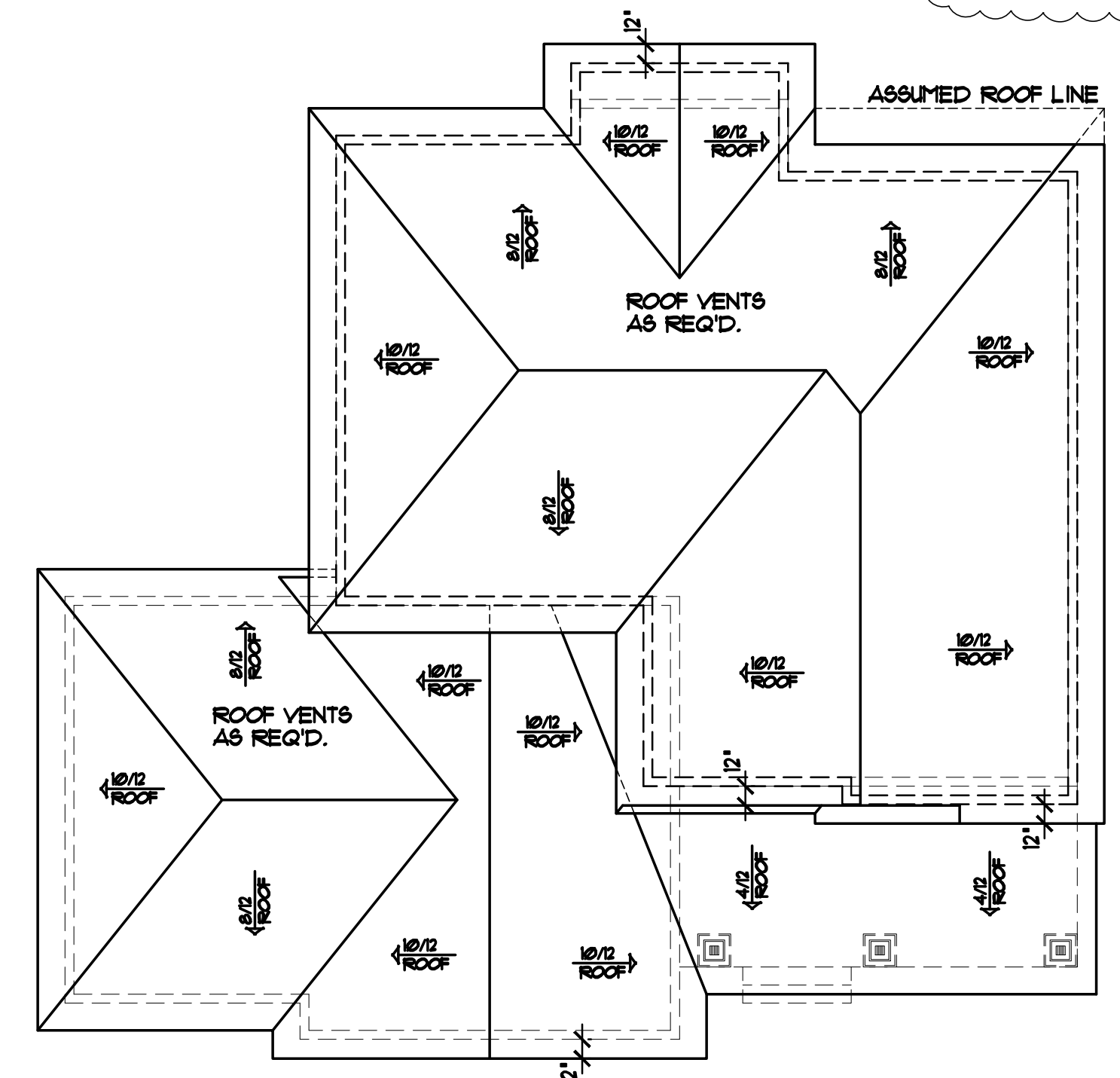
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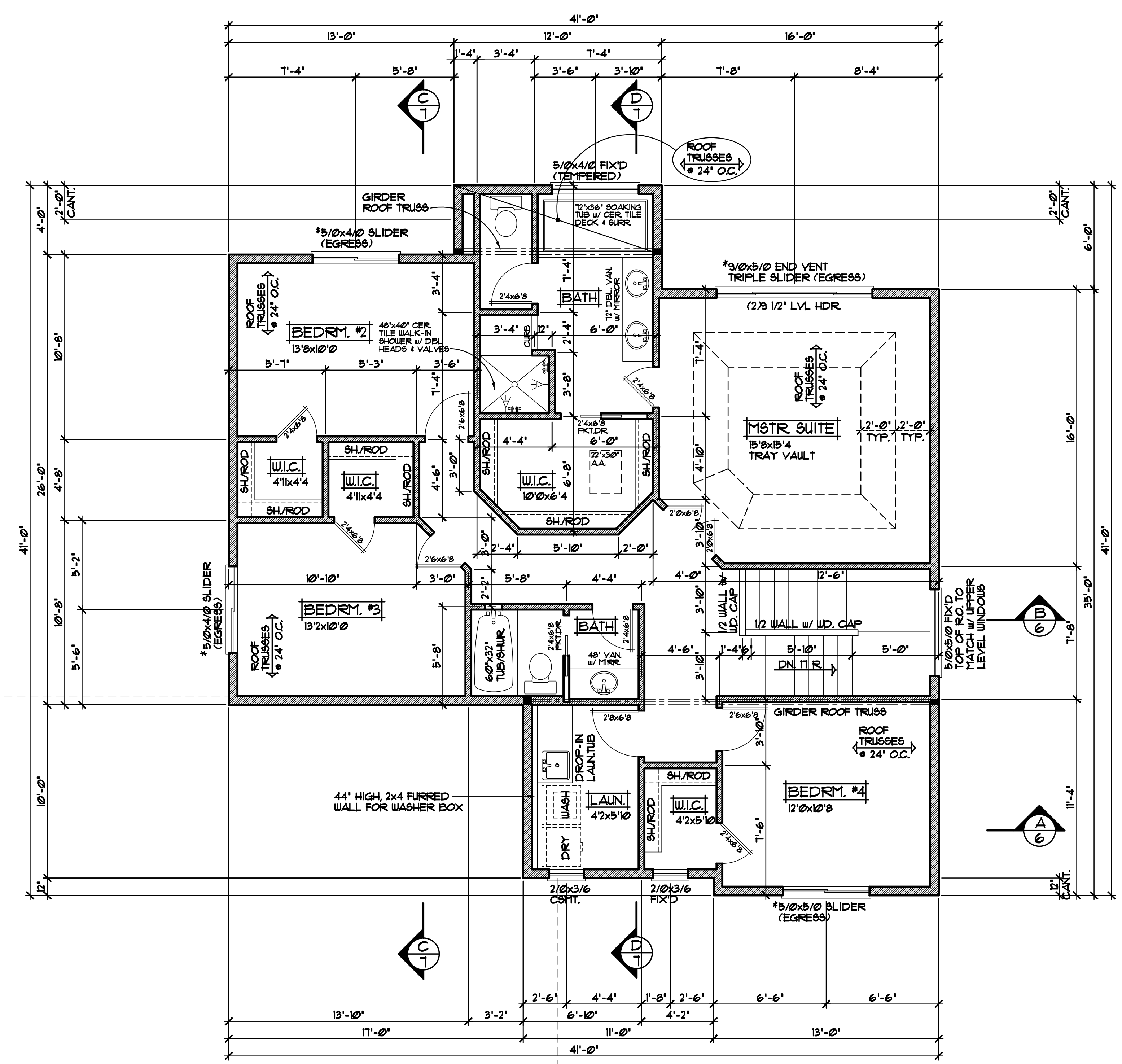
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NOTE III  
 PROVIDE STANDARD ENERGY  
 HEEL @ ALL 8/12 ROOF TRUSSES  
 w/ 18" OVERHANGS. ADJUST HEEL  
 HEIGHT OF ALL 10/12 ROOF TRUSSES  
 w/ 18" OVERHANGS TO MATCH EAVES  
 w/ 8/12 ROOFS (TYP.)



NOTE III  
 8'-1 1/8" PLATE  
 HEIGHT AT GARAGE  
 & FRONT PORCH AREA  
 FROM FIRST FLOOR  
 SUB FLOOR

**BIRDS EYE ROOF PLAN** 1/8"=1'-0"  
 18" OVERHANGS (TYPICAL)



**SECOND LEVEL PLAN** 1/4"=1'-0"  
 1335 SQFT. SECOND LEVEL

**FRAMING NOTES**

- 8'-1 1/8" PLATE HEIGHT @ ENTIRE UPPER LEVEL (UNLESS NOTED OTHERWISE)

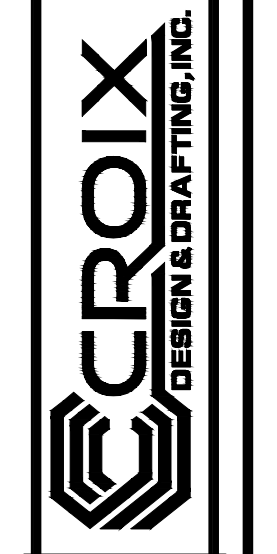
**DOOR & WINDOW NOTES**

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- ALL WINDOW & DOOR OPENINGS TO HAVE (2)X(10) 2" GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF RO. FOR ALL WINDOWS ON UPPER LEVEL TO BE 6'-10 1/2" FROM SUB-FLOOR (UNLESS NOTED OTHERWISE)

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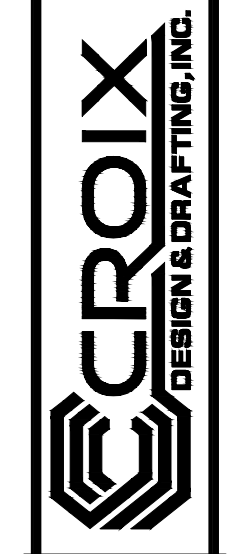


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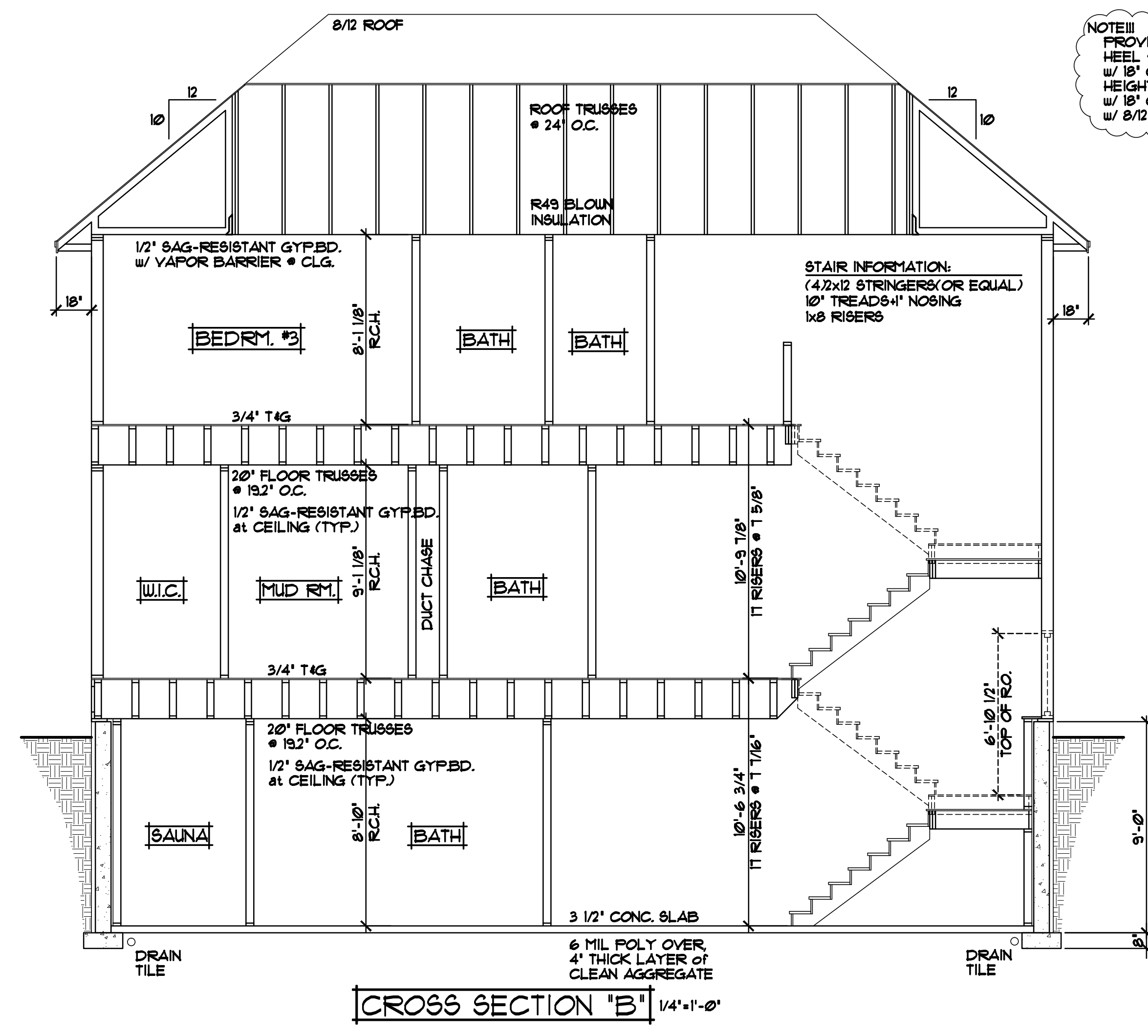
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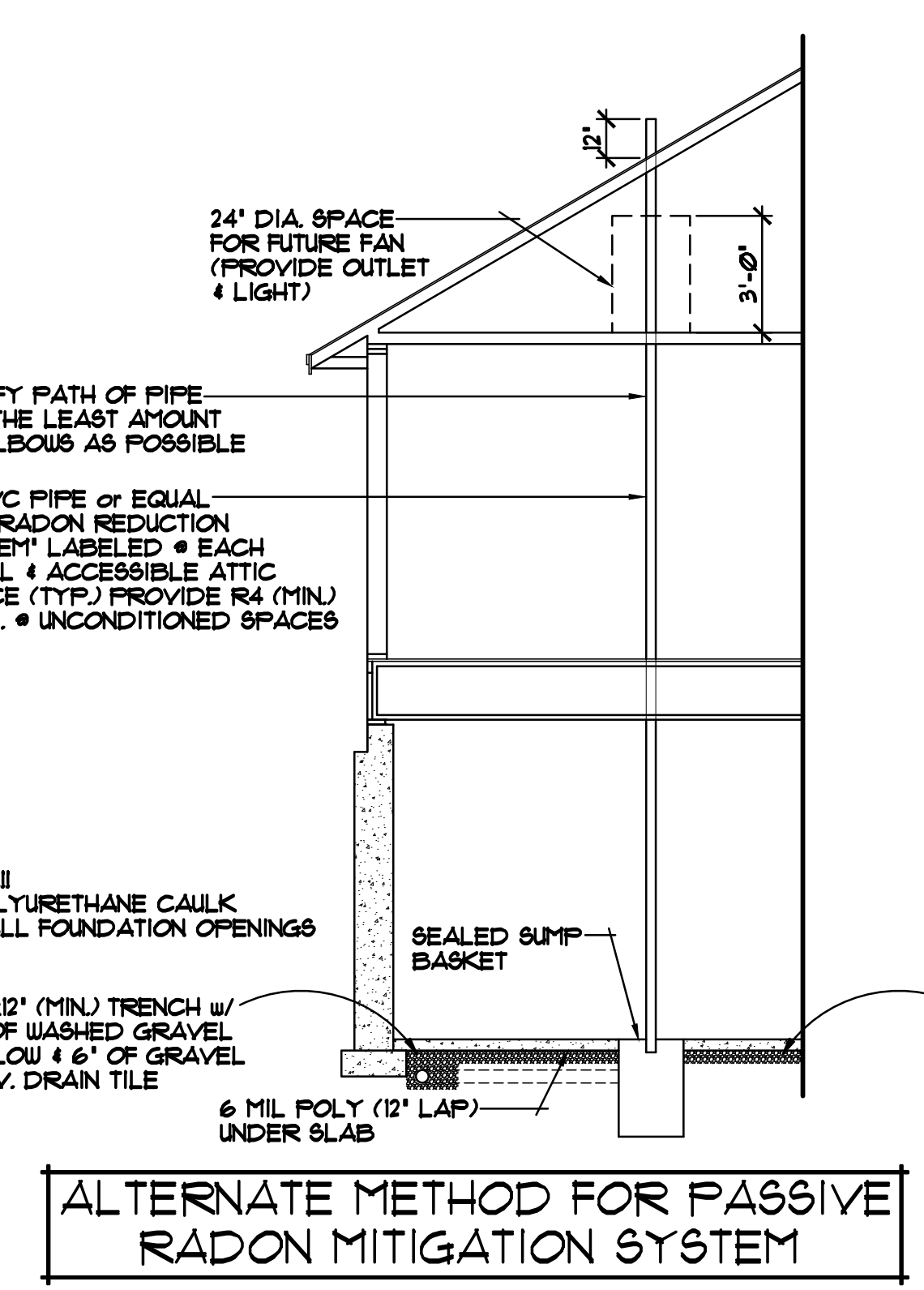


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**NOTE III**  
PROVIDE STANDARD ENERGY HEEL • ALL 8/12 ROOF TRUSSES w/ 18' OVERHANGS. ADJUST HEEL HEIGHT OF ALL 10/12 ROOF TRUSSES w/ 18' OVERHANGS TO MATCH EAVES w/ 8/12 ROOFS (TYP.)

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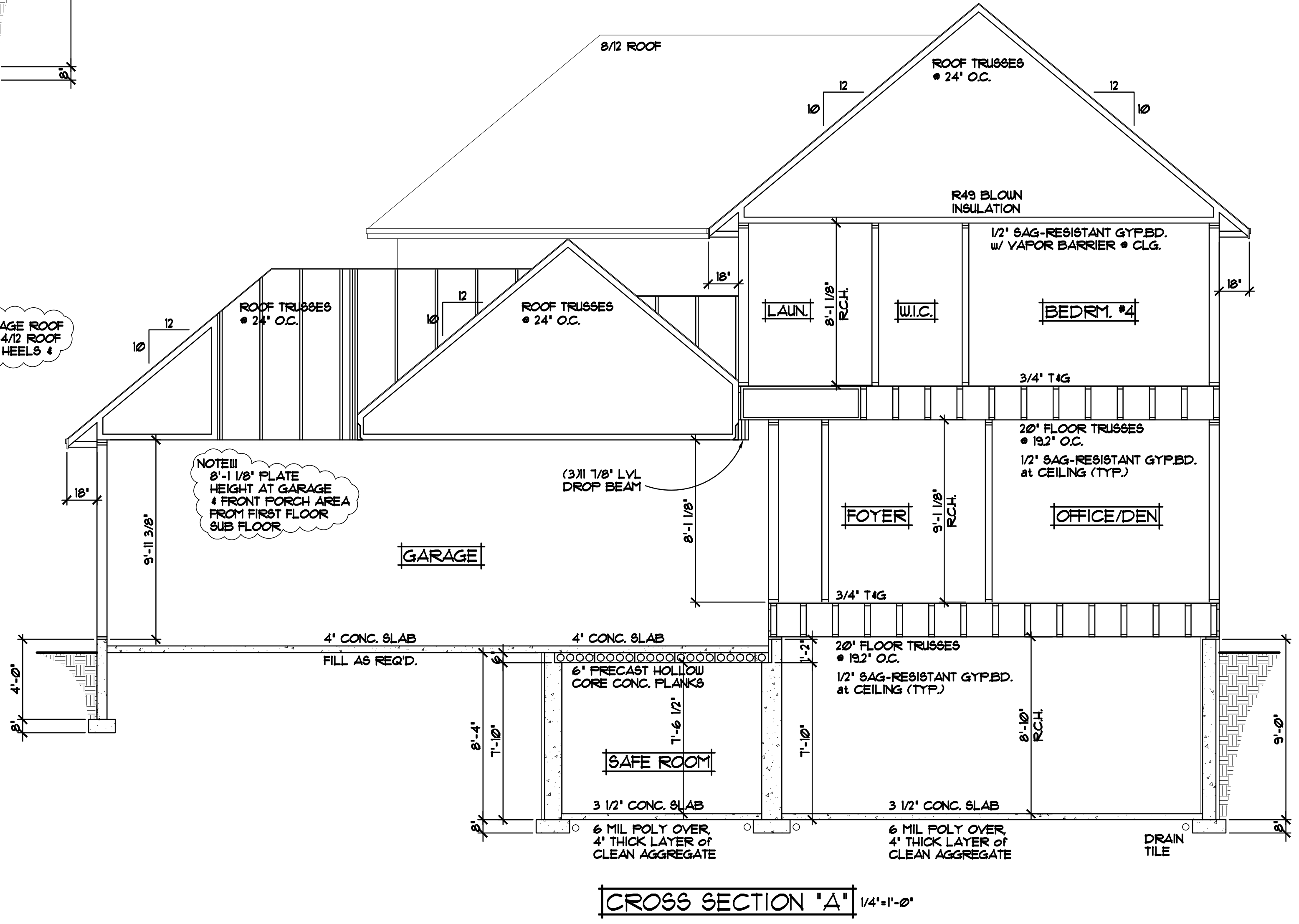
VERIFY PATH OF PIPE USE THE LEAST AMOUNT OF ELBOWS AS POSSIBLE  
3' PVC PIPE or EQUAL with RADON REDUCTION SYSTEM Labeled • EACH LEVEL • ACCESSIBLE ATTIC SPACE (TYP.) PROVIDE R4 (MIN) INSUL. • UNCONDITIONED SPACES

**NOTE III**  
POLYURETHANE CAULK • ALL FOUNDATION OPENINGS

**ALTERNATE METHOD FOR PASSIVE RADON MITIGATION SYSTEM**

**NOTE III**  
ADJUST HEELS OF GARAGE ROOF TO MATCH EAVES WITH 4/12 ROOF w/ STANDARD ENERGY HEELS • 18' OVERHANGS

**NOTE III**  
8'-1 1/8" PLATE HEIGHT AT GARAGE & FRONT PORCH AREA FROM FIRST FLOOR SUB FLOOR



**ROOF CONSTRUCTION:**  
• PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN  
• R49 BLOWN FIBERGLASS INSULATION  
• 1/8" ROOF VENT AT SOFFITS, 1/8" VENT AT RIDGE  
• AIR CHUTE AT EACH TRUSS SPACE  
• 15/32" ROOF SHEATHING  
• 15# ROOFING FELT  
• ICE & WATER MEMBRANE APPLIED 24' FAST EXTERIOR WALL  
• ASPHALT SHINGLES.

**SOFFIT / FASCIA:**  
• 2x6 SUB-FASCIA  
• ALUMINUM FASCIA COVER  
• ALUMINUM VENTED SOFFIT

**WALL CONSTRUCTION:**  
• HOUSE WRAP  
• 7/16" OSB SHEATHING  
• 2x6 STUDS • 16" O.C.  
• WINDOW PER SPEC'S  
• R-20 FG BATT INSULATION  
• 4 MIL POLY VAPOR RETARDER  
• 1/2" GYPSUM BOARD

**RIM AREA CONSTRUCTION:**  
• CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) • RIM AREA AND R30 (MINIMUM) • CANTS.

**WALL CONSTRUCTION:**  
• HOUSE WRAP  
• 7/16" OSB SHEATHING  
• 2x6 STUDS • 16" O.C.  
• WINDOW PER SPEC'S  
• R-20 FG BATT INSULATION  
• 4 MIL POLY VAPOR RETARDER  
• 1/2" GYPSUM BOARD

**RIM AREA CONSTRUCTION:**  
• CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) • RIM AREA AND R30 (MINIMUM) • CANTS.

**SILL CONSTRUCTION:**  
• 2x8 SILL PLATE & SEALER (2x6 PLATE @ WALKOUT AREAS)  
• 1/2" ANCHOR BOLTS • 48" O.C.

**FOUNDATION CONSTRUCTION:**  
• POURED CONCRETE WALL FOUNDATION (WALL THICKNESS VARIES, SEE FOUNDATION PLAN FOR SIZES)

**FOUNDATION INSULATION:**  
• FOUNDATION EXTERIOR- 2" R-10 RIGID FOAM BOARD INSULATION  
• FOUNDATION INTERIOR- 1" R-5 RIGID FOAM BOARD INSULATION

**SLAB CONSTRUCTION:**  
• 3 1/2" POURED CONCRETE FLOOR  
• 6 MIL POLY VAPOR RETARDER UNDER SLAB  
• UNIFORM LAYER OF 3/4" CLEAN AGGREGATE 4" THICK (MINIMUM)  
• SAND FILL AS REQUIRED

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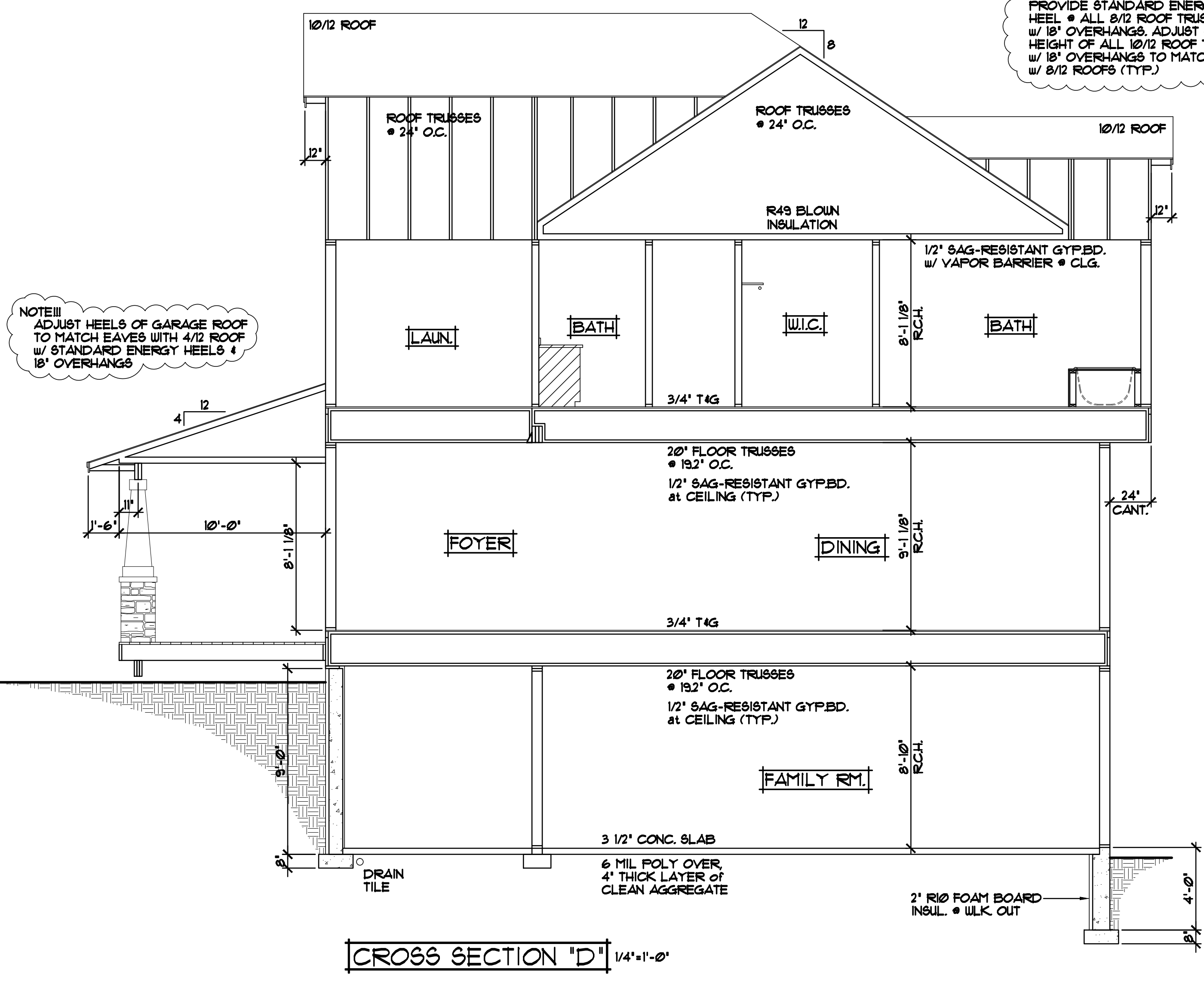


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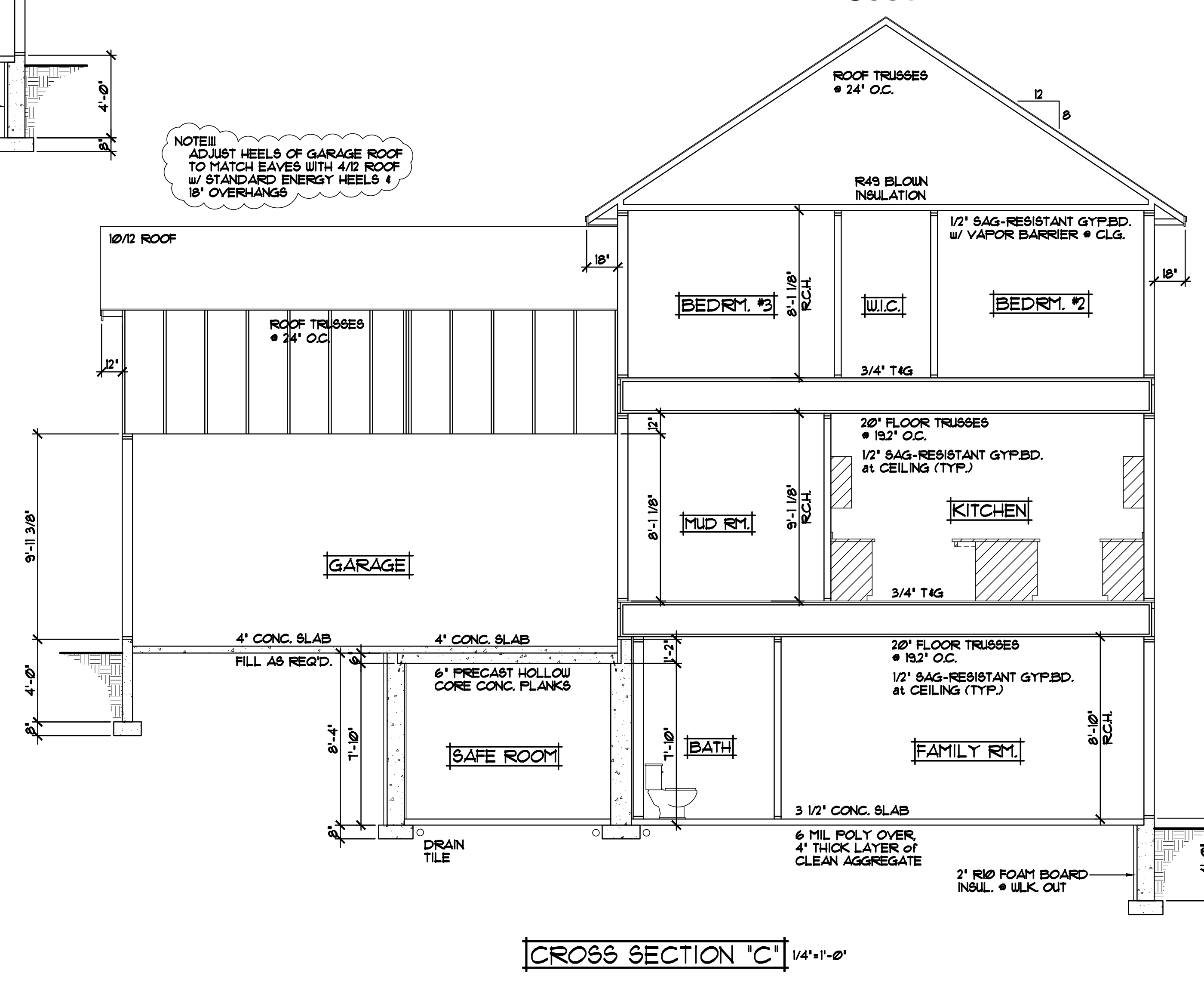
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NOTE III  
 ADJUST HEELS OF GARAGE ROOF  
 TO MATCH EAVES WITH 4/12 ROOF  
 w/ STANDARD ENERGY HEELS @  
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- PREMANUFACTURED ROOF TRUSSES - ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
  - R49 BLOWN FIBERGLASS INSULATION
  - 1/16" ROOF VENT AT SOFFITS, 1/16" VENT AT RIDGE
  - AIR CHUTE AT EACH TRUSS SPACE
  - 15/32" ROOF SHEATHING
  - 15" ROOFING FELT
  - ICE & WATER MEMBRANE APPLIED 24" PAST EXTERIOR WALL
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- SOFFIT / FASCIA:**
- 2x6 SUB-FASCIA
  - ALUMINUM FASCIA COVER
  - ALUMINUM VENTED SOFFIT

- WALL CONSTRUCTION:**
- HOUSE WRAP
  - 1/16" OSB SHEATHING
  - 2x6 STUDS @ 16" O.C.
  - WINDOWS PER SPEC'S
  - R-20 FG. BATT INSULATION
  - 4 MIL POLY VAPOR RETARDER
  - 1/2" GYPSUM BOARD

- RIM AREA CONSTRUCTION:**
- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) @ RIM AREA AND R30 (MINIMUM) @ CANTS.

- WALL CONSTRUCTION:**
- HOUSE WRAP
  - 1/16" OSB SHEATHING
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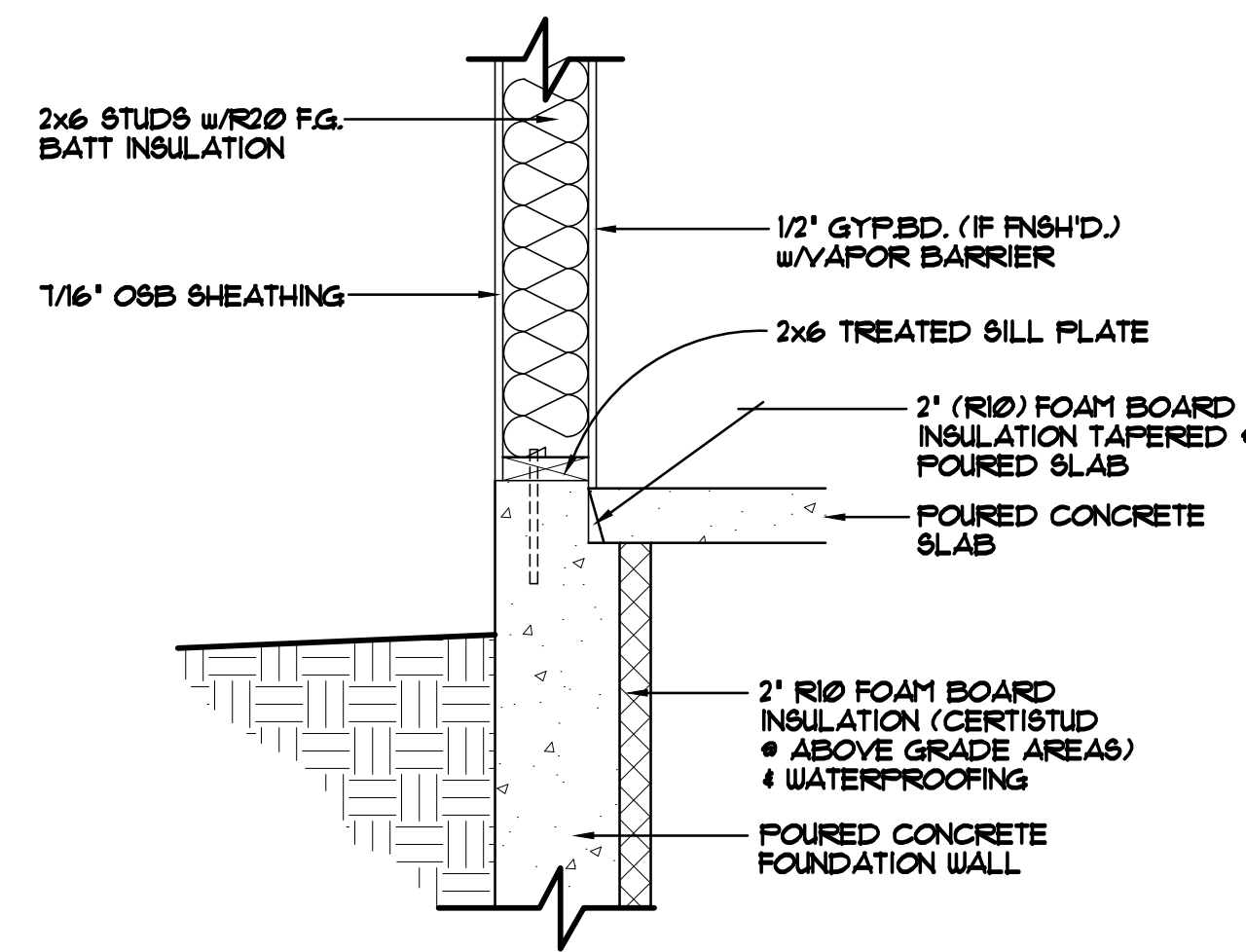
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- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) @ RIM AREA AND R30 (MINIMUM) @ CANTS.

- WALL CONSTRUCTION:**
- SIMILAR TO ABOVE
- SILL CONSTRUCTION:**
- 2x8 SILL PLATE & SEALER (2x6 PLATE @ WALKOUT AREAS)
  - 1/2" ANCHOR BOLTS @ 48" O.C.

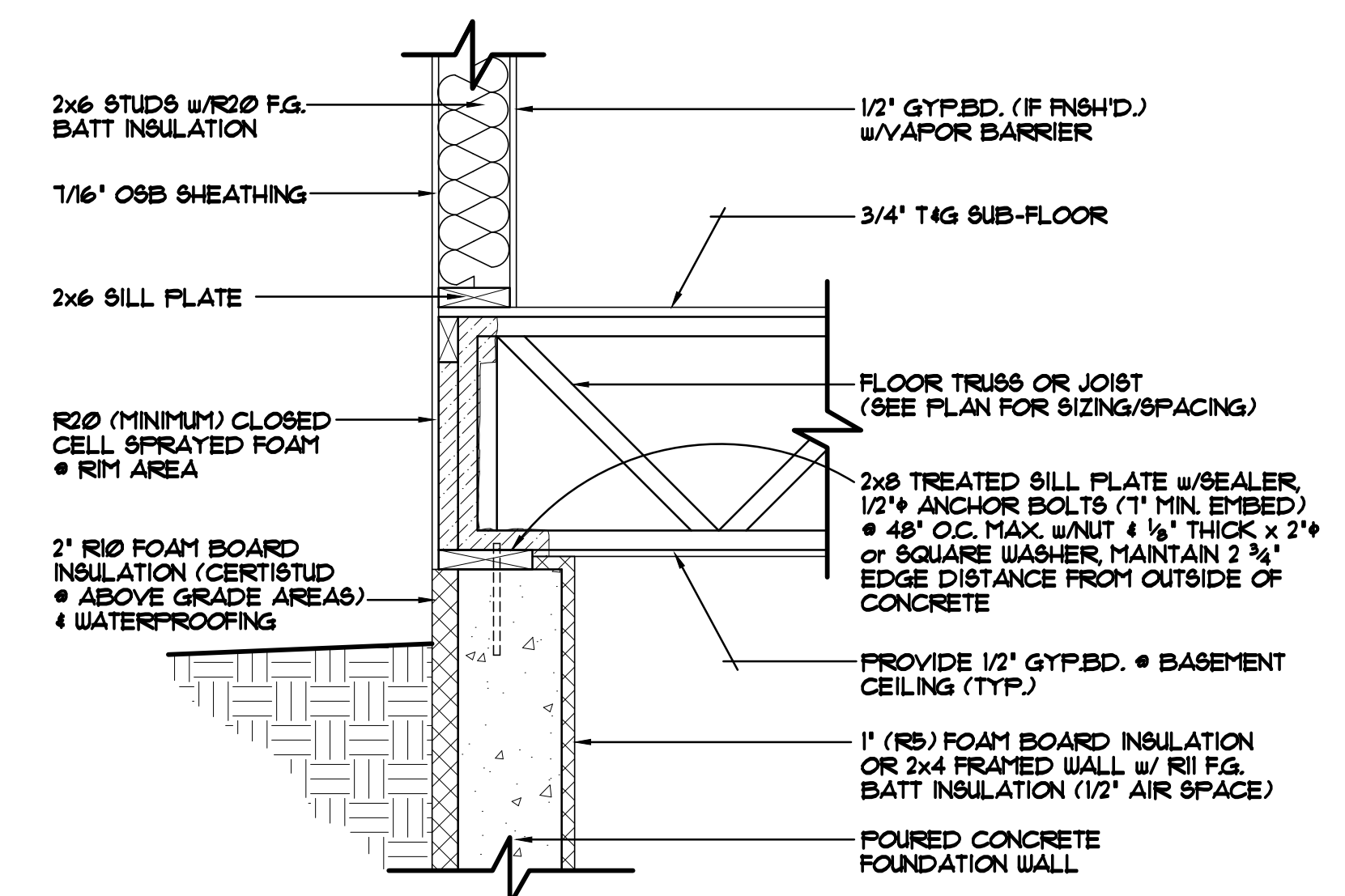
- FOUNDATION CONSTRUCTION:**
- Poured concrete wall foundation (wall thickness varies, see foundation plan for sizes)

- FOUNDATION INSULATION:**
- FOUNDATION EXTERIOR- 2" R-10 RIGID FOAM BOARD INSULATION
  - FOUNDATION INTERIOR- 1" R-5 RIGID FOAM BOARD INSULATION

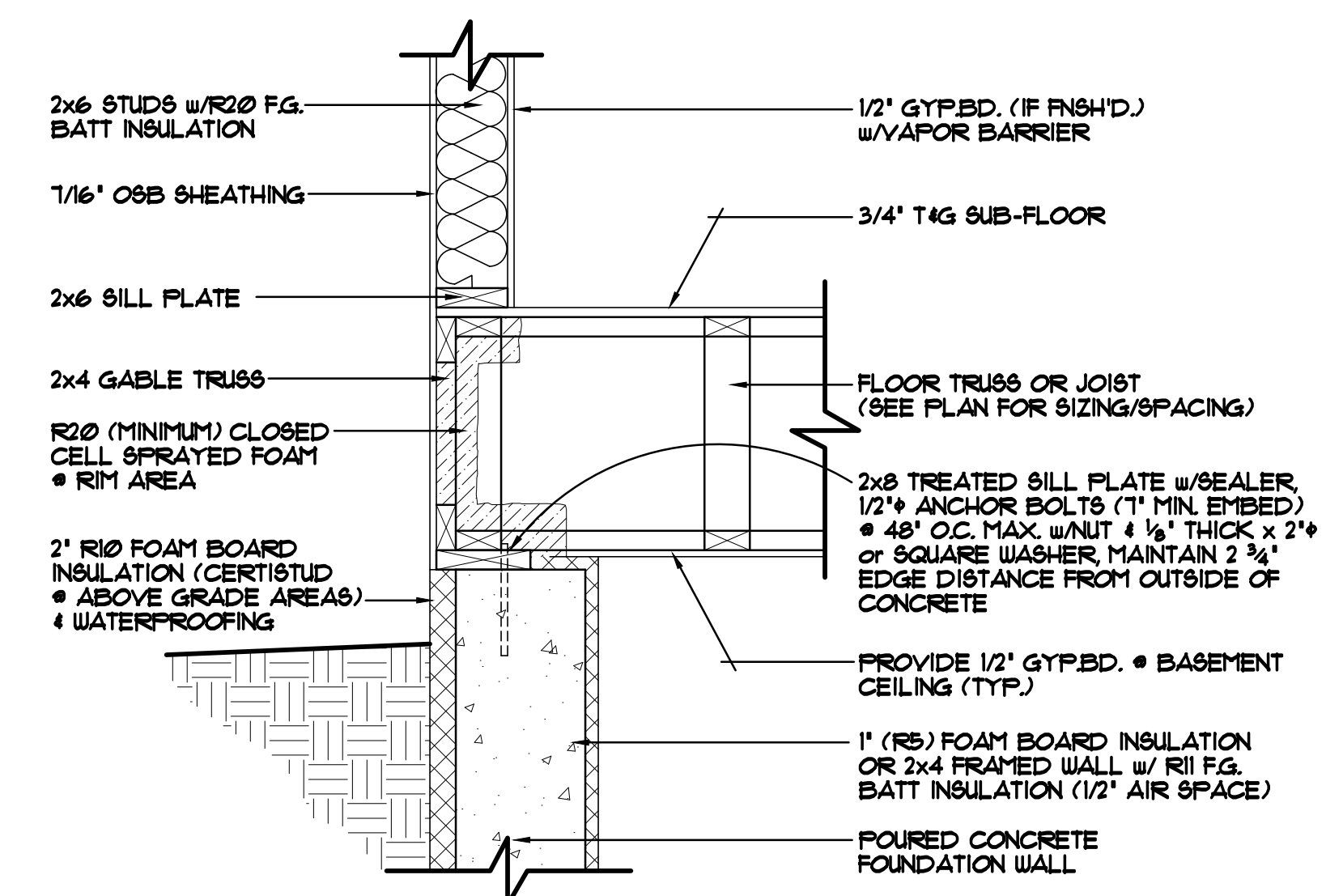
- SLAB CONSTRUCTION:**
- 3 1/2" Poured concrete floor
  - 6 MIL POLY VAPOR RETARDER UNDER SLAB
  - UNIFORM LAYER OF 3/4" CLEAN AGGREGATE
  - 4" THICK (MINIMUM)
  - SAND FILL AS REQUIRED



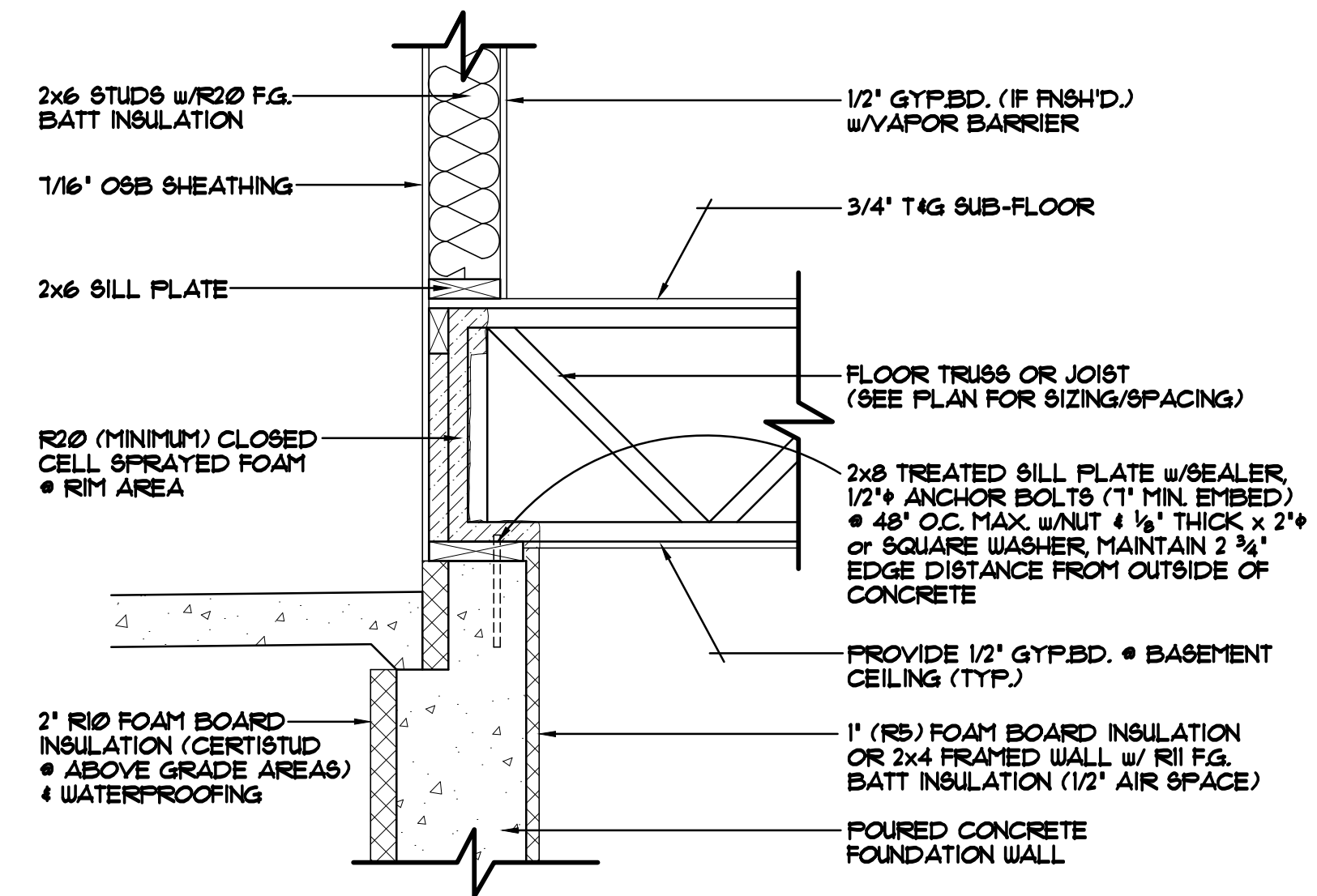
**FOUNDATION/RIM AREA DETAIL "A-1"** 1'-1'-0"  
 STANDARD WALKOUT SILL/FOUNDATION AREA  
 FOUNDATION NOT HELD IN



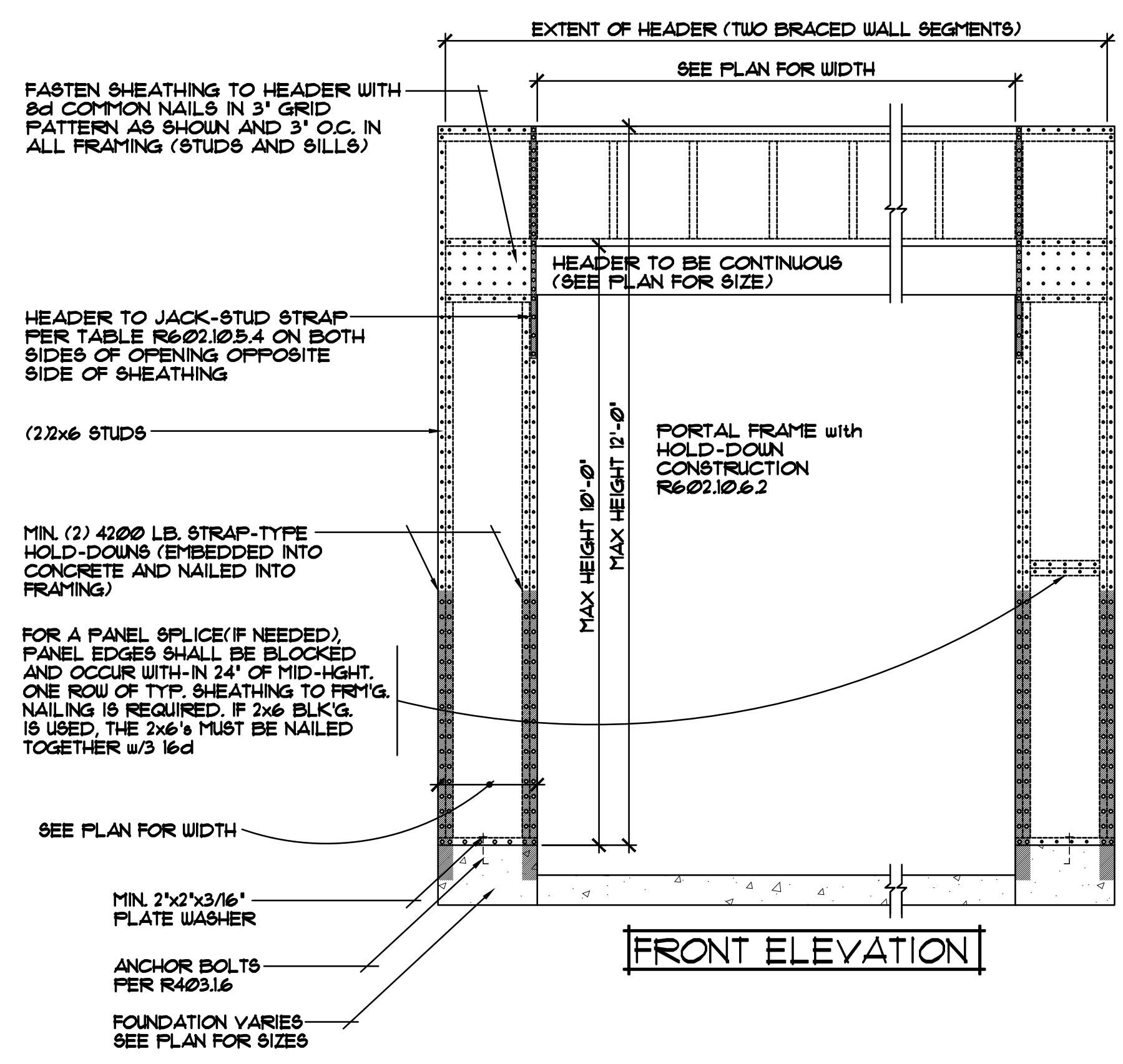
**FOUNDATION/RIM AREA DETAIL "A-2"** 1'-1'-0"  
 STANDARD RIM AREA, TRUSSES/JOISTS PERPENDICULAR TO FOUNDATION WALL  
 FOUNDATION HELD IN 2"



**FOUNDATION/RIM AREA DETAIL "A-3"** 1'-1'-0"  
 STANDARD RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL  
 FOUNDATION HELD IN 2"

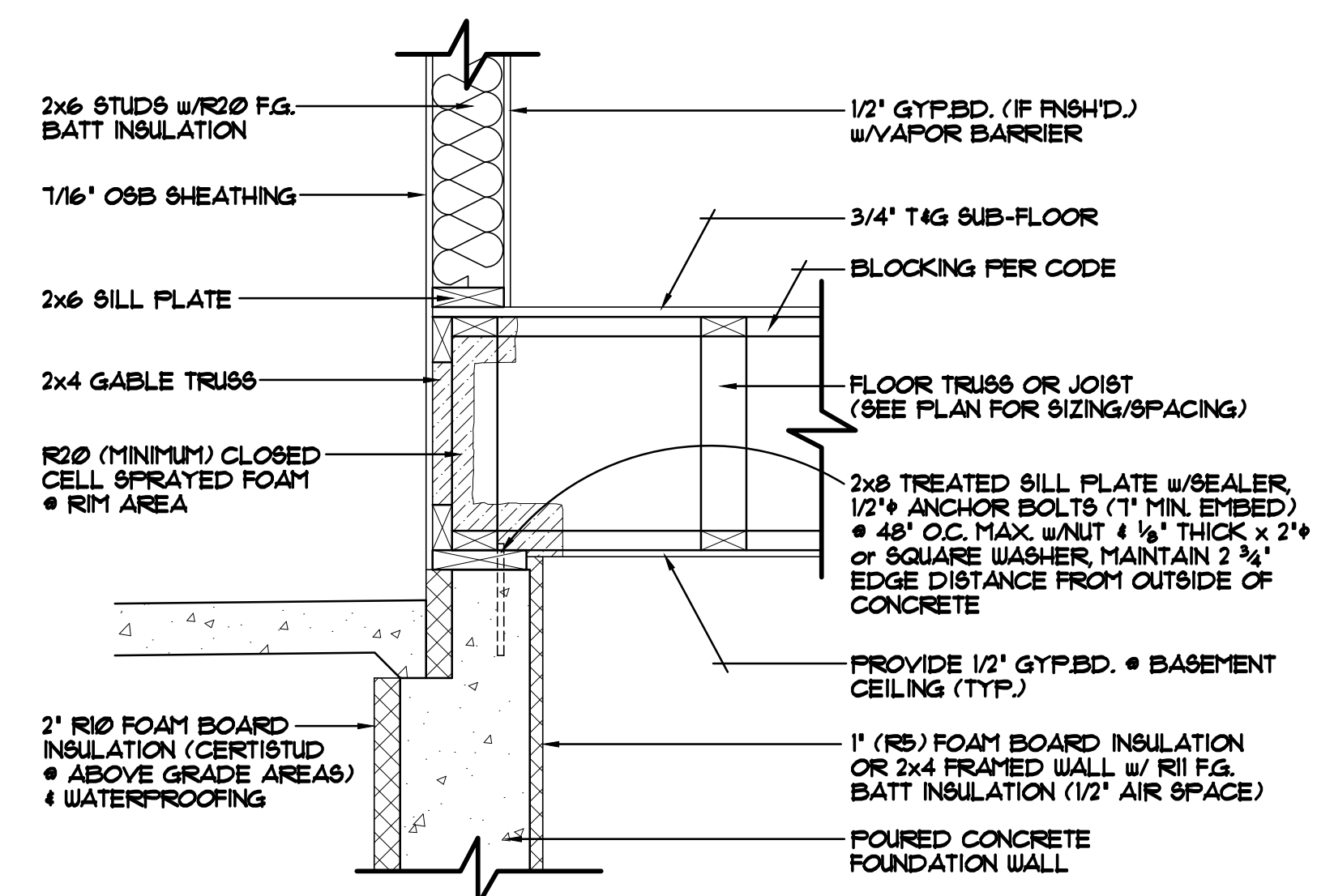


**FOUNDATION/RIM AREA DETAIL "A-4"** 1'-1'-0"  
 BRICK LEDGED RIM AREA, TRUSSES/JOISTS PERPENDICULAR TO FOUNDATION WALL  
 FOUNDATION HELD IN 2"

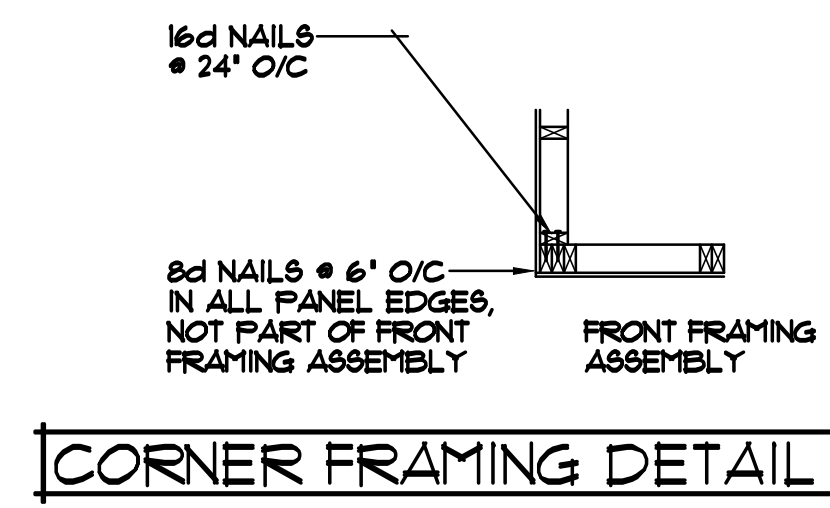


**FRONT ELEVATION**

**SIDE ELEVATION**



**FOUNDATION/RIM AREA DETAIL "A-5"** 1'-1'-0"  
 BRICK LEDGED RIM AREA, TRUSSES/JOISTS PARALLEL TO FOUNDATION WALL  
 FOUNDATION HELD IN 2"



**CORNER FRAMING DETAIL**

**PORTAL FRAMING WITH HOLD-DOWNS CONSTRUCTION** 1/2'-1'-0"

REVISIONS  
 XX/XX/XX  
 0000  
 BY:XX  
 XX/XX/XX  
 0000  
 BY:XX

SPECIAL NOTICE: THE USER ACCEPTS NO RESPONSIBILITY FOR ERRORS AND/OR OMISSIONS. THESE DRAWINGS ARE DESIGN CONCEPT ONLY. EVERY EFFORT HAS BEEN MADE TO PREPARE THESE DRAWINGS ACCURATELY. THE USER SHALL CHECK ALL DETAILS AND CONDITIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

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ELEVATE BUILDERS, LLC

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